

WORK SAFELY



LOT A / 121
EXISTING DWELLING
KNOCK DOWN REBUILD
AREA: 505.9m²
DP 365425

5.6
NATIONWIDE HOUSE
 573
 573
 www.nationwide.com.au
 hstet.com.au

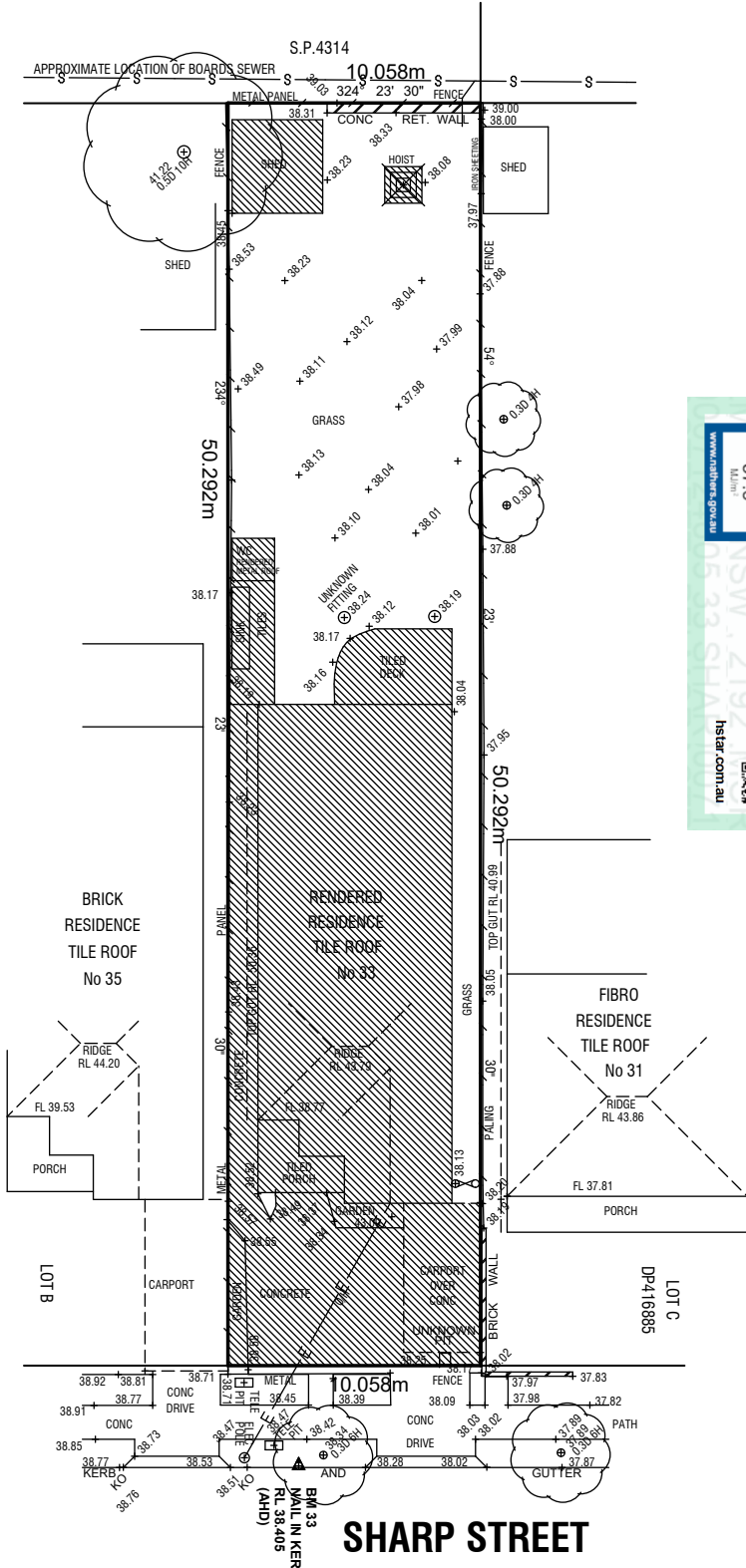
Assessor: Ian Fry
 Accreditation No. DMN/121/441
 Address: 33 Sharp Street, Belmore, NSW, 2192

0007124605 14 Mar 2022

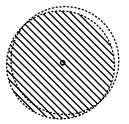
We understand that the area shown hatched is to be removed by the Owner prior to the Builder taking over the site.

Signature: _____

Signature: _____



ALL SHOWN HATCHED TO BE REMOVED BY OWNER PRIOR TO BUILDER TAKING OVER THE SITE



TREES TO BE REMOVED

NOTE:
COMPLETION OF DEMOLITION IS SUBJECT TO SUPERVISOR'S INSPECTION

NEW HOME CONTRACT 1

RESIDENCE FOR: **Kim Sung Hee**
Lot A, 33 Sharp Street,
Belmore NSW 2192



Burbank Australia (NSW) Pty Ltd. (tr. (03) 9328 0333) (tr. (03) 9328 0222)
 Level 3, 88 Phillip Street, Parramatta NSW 2150
 ABN: 88 610 822 770. AOCV: 610 822 770. BL: 259627C

Demolition Plan

Robertson 2ss

DESIGN ID:	186670	CONTRACT NO.:	
SPECIFICATION:	N.S.W.	NHP:	W/O
S.I. NO:	ISSUE	DATE:	13/12/21
MASTER:	DK 22/5/18	DATE:	23/01/22
HT:		SCALE:	1:200

AMENDMENTS:		
1	DB 14.03.22	Provide N2 to corner in
2	DB 17.03.22	Plans revised to meet requirements

01-1
1 of 18

SHARP STREET

LEGEND

	Existing Trees		New Trees
	Stormwater Main		A & B Drain
	Sewer Pipe		Fencing by Contractor
	Existing Fencing		Overhead Power
	Underground Power		Gravel Drain
	100 Da's Stormwater		

NOTE: MIN 200mm REBARROD SITE CUT & R.L. LEVELS MAY VARY DUE TO SITE CONDITIONS.

DETAILS

DATUM: RL 38.05 (AHD)
CONTOUR INTERVALS: 0.20 Metres
WATER CONNECTION: (BY THE BUILDER)
 20mm line from water meter to entry point.
WASTE DISPOSAL: (BY THE BUILDER)
 Connection to mains sewer in accordance with local authority requirements.
ROOF/WATER DISPOSAL: (BY THE BUILDER)
 Connection of all downpipes to underground drain. Position of roofwater lines are indicative only and may vary depending on site.
POWER CONNECTION:
 Installation to underground line by the builder. Connection of power to main line by Electricity Authority.
EARTHWORKS: (BY THE BUILDER) AG Drains 0 Metres Cut and fill to create level building platform. Remove spoil from site. Earthworks indicated on the plan are for construction purposes only.

LOCAL AUTHORITY:

TITLE PARTICULARS:
 LOT:
 VOL:
 FOL:
 PARISH:
 COUNTY:

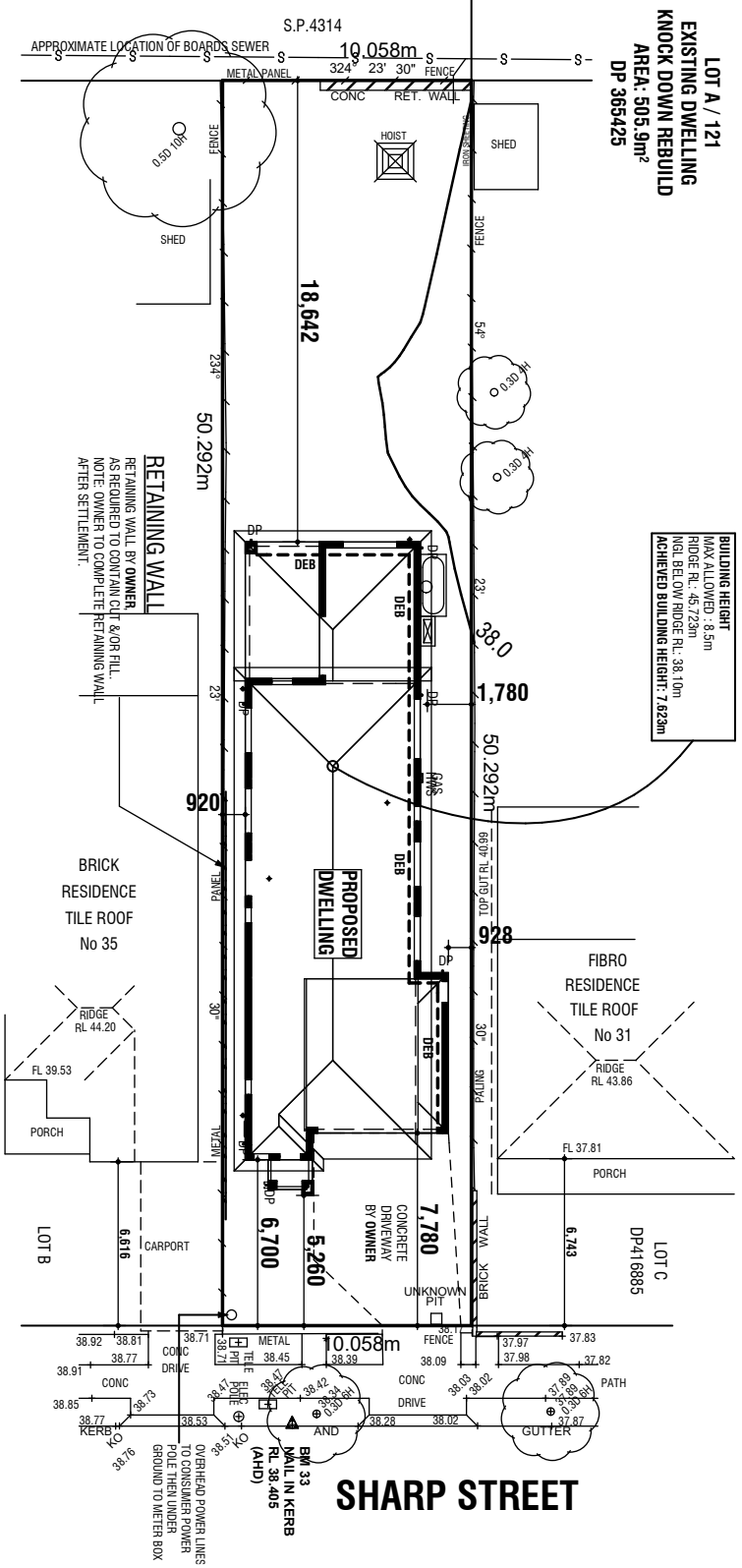
LOCATION: LAT: -33.92122
 LONG: 151.09387
 MAP REFERENCE: LOND: 15109387



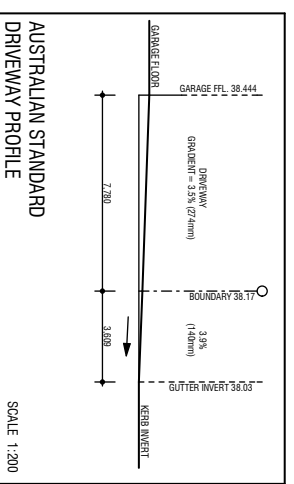
DESIGNED AS COMPLYING DEVELOPMENT
STORMWATER SYSTEM TO HYDRAULIC DETAILS

WORK SAFETY

LOT A / 121
EXISTING DOWNGRADE REBUILD
AREA: 505.9m²
DP 365425



CANTERBURY BANKSTOWN COUNCIL	
CALCULATION TABLE: DCP Chapter C1	
SITE AREA:	505.9 m ²
GROUND FLOOR:	126.5 m ²
FIRST FLOOR:	133.4 m ²
GARAGE:	22.1 m ²
PORCH/ALFRESCO:	16.9 m ²
DRIVEWAY AREA:	40.0 m ²
FLOOR SPACE RATIO (measured to internal faces of external walls & less garage)	
Maximum allowed:	0.5:1 of site area: 252.95m ²
Achieved:	231.2m ²
SITE COVERAGE	
Maximum allowed: (all structure on site)	50% of site area = 252.95m ²
Achieved:	35.9% of site area = 182m ²
Maximum allowed: (building footprint)	330m ²
Achieved:	161.1m ²
LANDSCAPE AREA	
Minimum Required:	20% of lot area = 101.18
Achieved:	41% of site area = 209.9m ²



LEGEND

	Existing Trees		Trees to be removed
	Stormwater Main		Sewer Pipe
	Existing Fencing		Fencing by Contractor
	Underground Power		Overhead Power
	100 D/S Stormwater		Gated Drain

DETAILS
NOTE: MIN 200mm REBARROD SITE CUT & RILL LEVELS MAY VARY DUE TO SITE CONDITIONS.

DATUM: RL 38.05 (AHD)

CONTOUR INTERVALS: 0.25 Metres

WATER CONNECTION: (per the builder)
200mm line from water meter to entry point

WASTE DISPOSAL: (per the builder)
Connection to mains sewer in accordance with local authority requirements.

POWER CONNECTION:
Installation to underground line by the builder. Connection of power to main line by Electricity Authority.

ROOF/WATER DISPOSAL: (per the builder)
Connection of all downpipes to underground drain. Position of roofwater lines are indicative only and may vary depending on site.

EARTHWORKS: (per the builder)
Cut and fill to create level building platform. Remove spoil from site. Earthworks indicated on the plan are for construction purposes only.

5.6 **NATIONWIDE HOUSE** **57.3** **MLM**

Assessor Ian Fry
Accreditation No. DMN/12/1441

Address
33 Sharp Street, Belmore, NSW, 2192

0007124605 14 Mar 2022

www.nationwide.gov.au

hstar.com.au

NEW HOME CONTRACT 1

RESIDENCE FOR: **Kim Sung Hee**
Lot A, 33 Sharp Street,
Belmore NSW 2192

Burbank
Burbank Australia (NSW) Pty Ltd. ACN 6328 0331 FC (03) 9238 0222
Level 3, 88 Phillip Street, Parramatta NSW 2150
ABN: 88 610 822 770 AOV: 610 822 770. BL: 295827C

Site Plan		Robertson 255	
DESIGN ID:	186870	CONTRACT NO.:	186870
SPECIFICATION:	N.S.W.	NHP:	W/O
S.I. NO:	ISSUE	MASTER:	WK 13.12.21
DATE:	06/22/18	DATE:	06/22/18
HT:		HAND:	
		SHEET NO.:	01-2
			2 of 18

CONSELLA
SCALE: 1:200

N.S.W.

LOCAL AUTHORITY: ...
TITLE PARTICULARS: ...
LOT: ...
VOL: ...
FOL: ...
COUNTY: ...

LOCATION: LAT: -33.92122
LONG: 151.09387

MAP REFERENCE: LOND: 15109387

REMAINING DRIVE

SHARP STREET

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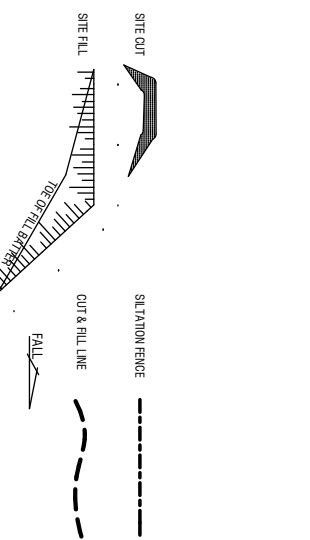
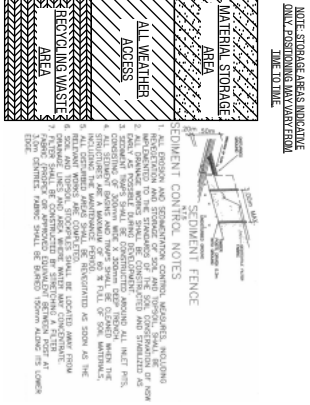
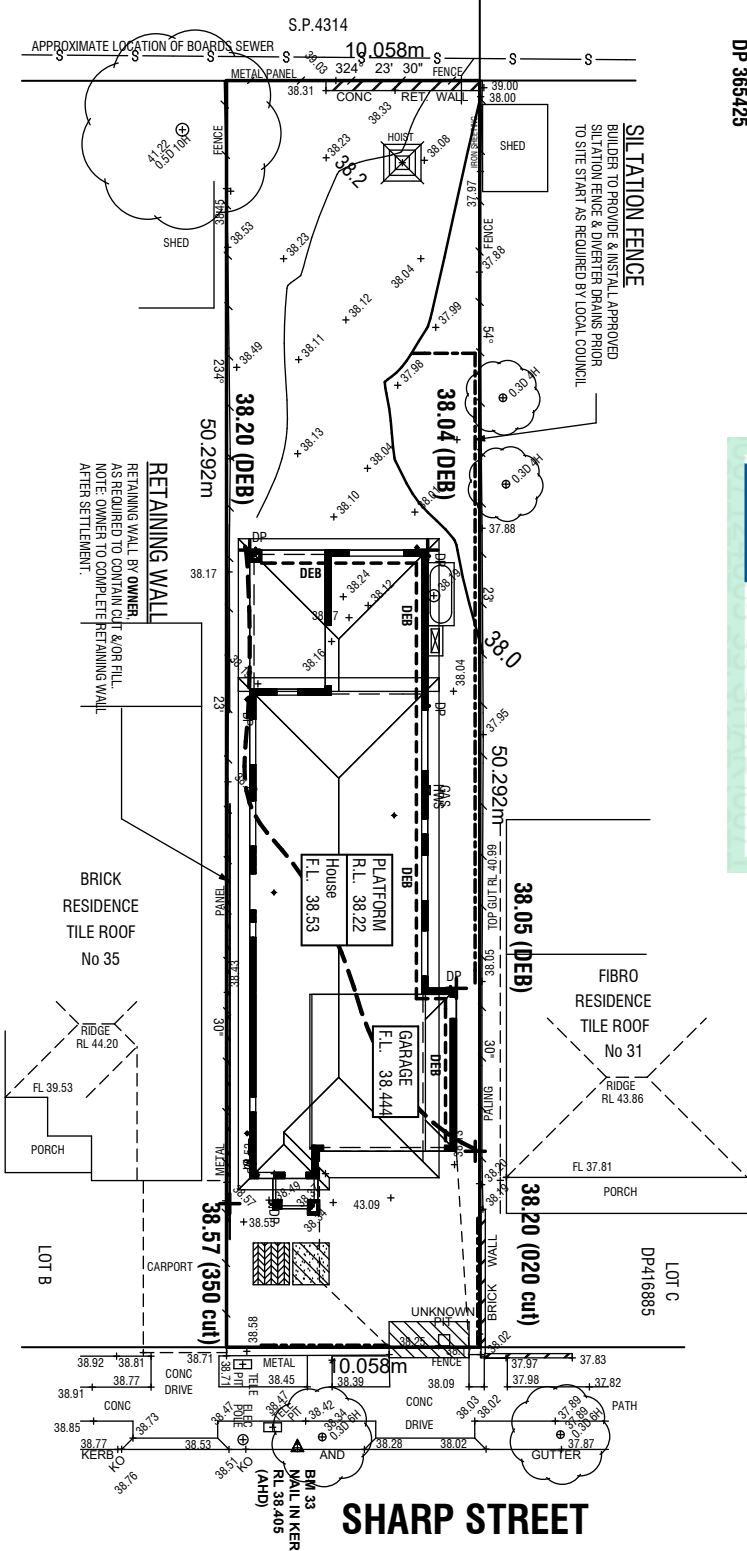
WORK SAFETY



LOT A / 121
EXISTING DWELLING
KNOCK DOWN REBUILD
AREA: 505.9m²
DP 365425

5.6 **NATIONWIDE HOUSE**
 573 **Rating**
 www.ratinghouse.gov.au

Assessor: Ian Fry
 Accreditation No. DMN/12/1441
 Address: 33 Sharp Street, Belmont, NSW, 2192
 14 Mar 2022
 hstar.com.au



NEW HOME CONTRACT 1

RESIDENCE FOR: **Kim Sung Hee**
 Lot A, 33 Sharp Street,
 Belmont NSW 2192

Burbank
 Residential Development
 Burbank Australia (NSW) Pty Ltd. ACN 6239 0338 FC (GO) 6238 0222
 Level 3, 88 Phillip Street, Parramatta NSW 2150
 ABN: 88 610 822 770 AOV: 610 822 770. BL: 259627C

Site Works Plan
Robertson 255

DESIGN ID:	186970	CONTRACT No:		186970	
SPECIFICATION:	N.S.W.	NHP	MHC	WVO	
S.I. NO:					
ISSUE:	MASTER	WK 13.12.21	DB 23.01.22		
GN:					
HT:					

Corolla SCALE: 1:200
 SHEET No: **01-3**
3 of 18

N.S.W.

LEGEND

Trails to be removed prior to commencement of building operations.

Existing Trees
 Stormwater Main
 Stormwater Disposal
 Existing Fencing
 Underground Power
 Overhead Power
 100 Dia Stormwater

New Trees
 A.G. Drain
 Sewer Pipe
 Fencing by Contractor
 Overhead Power
 Grated Drain

DETAILS

DATUM: RL 38.05 (AHD)
CONTOUR INTERVALS: 0.20 Metres
WATER CONNECTIONS: (BT THE BUILDER)
 200mm line from water meter to entry point.
WASTE DISPOSAL: (BT THE BUILDER)
 Connection to mains sewer in accordance with local authority requirements.
ROOF/WATER DISPOSAL: (BT THE BUILDER)
 Connection of all downpipes to underground drain. Position of roofwater lines are indicative only and may vary depending on site.
POWER CONNECTIONS:
 Installation to underground line by the builder. Connection of power to main line by Electricity Authority.
EARTHWORKS: (BT THE BUILDER) A.G. Drains 0 Metres
 Cut and fill to create level building platform. Remove spoil from site.
 Earthworks indicated on the plan are for construction purposes only.

LOCAL AUTHORITY:

TITLE PARTICULARS:

LOT:
 VOL:
 PARISH:
 COUNTY:

LOCATION: LAT: 33.92122
 MAP REFERENCE: LOND: 15109387

REINFORCEMENT

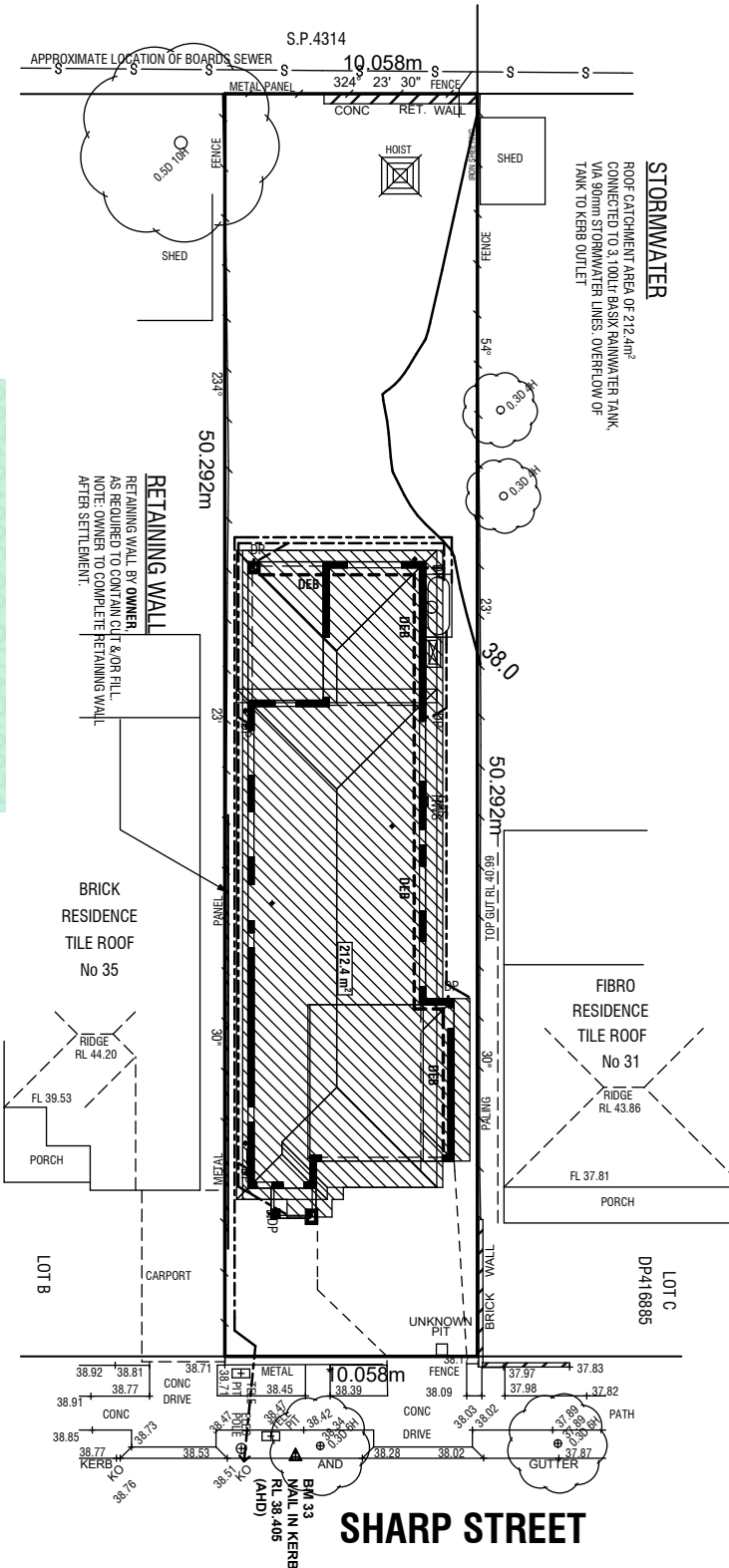
1	DB 14.03.22	Provide X30 to comply with
2	DB 17.03.22	Plans reviewed and approved

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WORK SAFETY



LOT A / 121
EXISTING DWELLING
KNOCK DOWN REBUILD
AREA: 505.9m²
DP 365425



5.6
NATIONWIDE HOUSE
 AUSTRALIAN PROPERTY INVESTMENT
 573
 MILLER
 www.nationwide.gov.au

0007124605 14 Mar 2022
 Assessor Ian Fry
 Accreditation No. DMN/12/1441
 Address
 33 Sharp Street, Belmore,
 NSW, 2192
 hstar.com.au

NEW HOME CONTRACT 1

RESIDENCE FOR:
Kim Sung Hee
Lot A, 33 Sharp Street,
Belmore NSW 2192

Burbank
 Home & Lifestyle
 Burbank Australia (NSW) Pty Ltd. ACN: (03) 9328 0331 FC: (03) 9328 0222
 Level 3, 88 Phillip Street, Parramatta NSW 2150
 ABN: 88 610 822 770 AOV: 610 822 770 BL: 295827C

Stormwater Management Plan		Robertson 255		Corolla	
DESIGN ID:	186870	CONTRACT NO.:	186870	HAND:	01-4
SPECIFICATION:	N.S.W.	NHP:	WVO	SHEET NO.:	4 of 18
S.I. NO.	ISSUE	MASTER	WK: 13.12.21	DB: 23.01.22	
GNR:		DATE:	06/22/18		
HT:					N.S.W.

SHARP STREET

LEGEND

	Existing Trees		Stormwater Main
	Stormwater Disposal		Sewer Pipe
	Existing Fencing		Fencing by Contractor
	Underground Power		Overhead Power
	100 Da Stormwater		Grated Drain

DETAILS

DATUM: RL 38.05 (AHD)

CONTOUR INTERVALS: 0.25 Metres

WATER CONNECTION: (per the builder)
 200mm line from water meter to entry point.

WASTE DISPOSAL: (per the builder)
 Connection to mains sewer in accordance with local authority requirements.

ROOFWATER DISPOSAL: (per the builder)
 Connection of all downpipes to underground drain. Position of roofwater lines are indicative only and may vary depending on site.

POWER CONNECTION:
 Installation to underground line by the builder. Connection of power to main line by Electricity Authority.

EARTHWORKS: (per the builder) **AG Drains 0 Metres**
 Cut and fill to create level building platform. Remove spoil from site. Earthworks indicated on the plan are for construction purposes only.

LOCAL AUTHORITY:

TITLE PARTICULARS:

LOT: DMAPLAN:

VOL: PARISH:

FOL: COUNTY:

LOCATION: LAT: -33.92122
 LONG: 151.09387

MAP REFERENCE: LOND: 15109387



AMENDMENTS

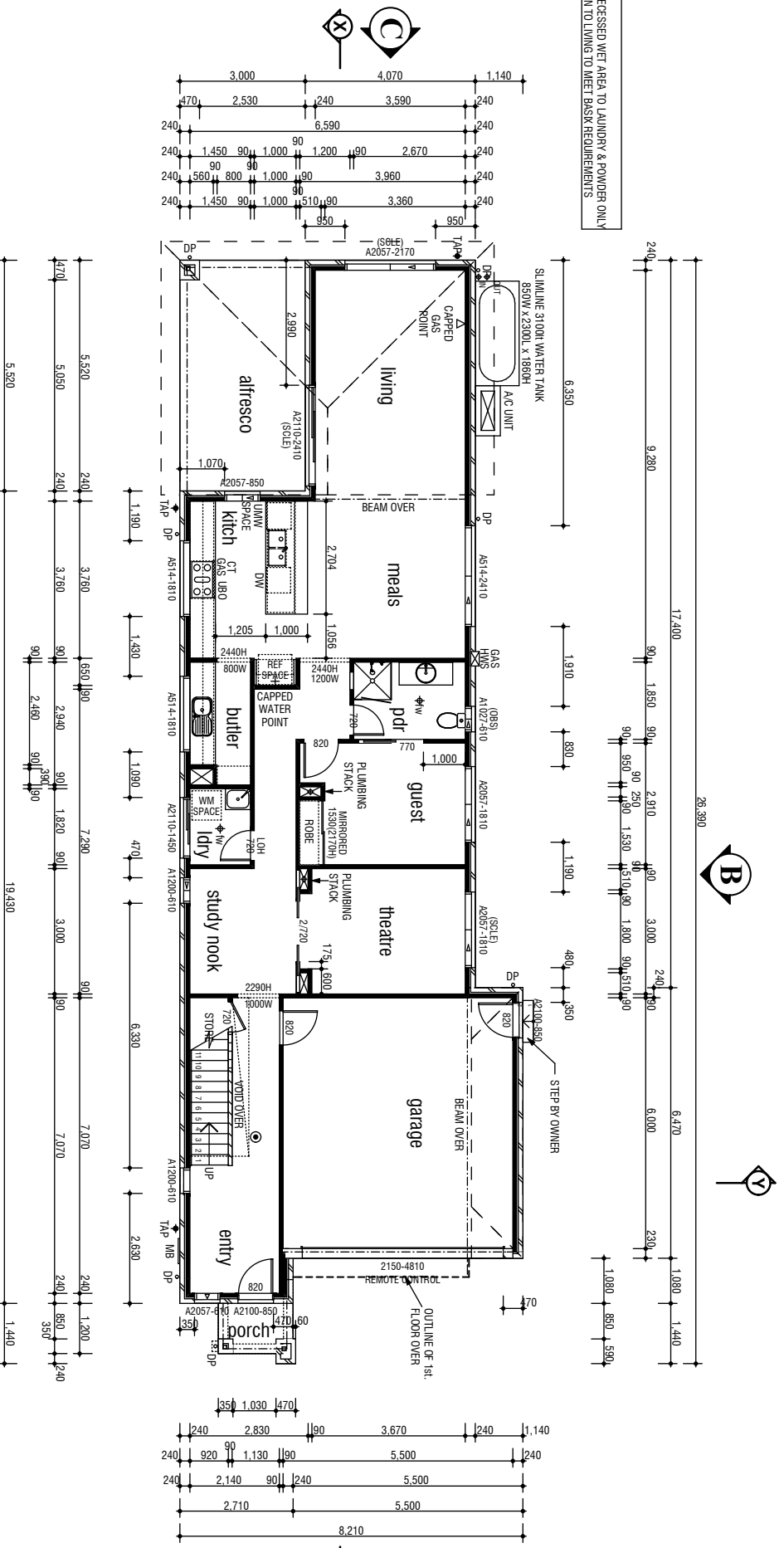
1	DB: 14.03.22	Provide NHP to comply with
2	DB: 17.03.22	Plans revised to meet requirements

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WORK SAFELY

STAIRCASE WALL BY STAIR MANUFACTURER

RECESSED WHEEL AREA TO LAUNDRY & POWEROFF ONLY
FAN TO LIVING TO MEET BASIX REQUIREMENTS



GENERAL NOTES:-

- WEI AREAS IN ACCORDANCE WITH BASI REQUIREMENTS
- STAIRS: TREAD 250MM, RISE: 190MM
- BULKHEAD: AT STAIRS 600MM HIGH AT LANDING, 1000MM HIGH
- INTERNAL DIMENSIONS UNLESS OTHERWISE SHOWN, HINGED DOORS TO BE 850 WIDE
- UNLESS OTHERWISE INDICATED, ALL WALL DIMENSIONS ARE:
 - EXTERNAL 240mm = 110 BRICK + 40 GYPSY + 90 STUD
 - INTERNAL 90mm STUD
- REF: THE W/M AND C/D SYMBOLS INDICATE POSITION ONLY
- DIMENSION: UNLESS OTHERWISE SHOWN, DIMENSIONS ARE TO FACE UNLESS OTHERWISE SHOWN
- DIMENSION: 25 CM PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER

- W.C. DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LEFT HAND SWING IN ACCORDANCE WITH BCA, APPROXIMATE 3 PART 8.3.3
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A. P.2.4.5
- WINDOW GLAZING CODES:
 - (OSB) - OBSOURED
 - (DG) - DOUBLE GLAZED
 - (DT) - COMFORTONE
 - (SGL) - SINGLE GLAZED LOW EMISSION GLASS
 - (SG) - SMART GLASS SP10 CLEAR
- WINDOW GLAZING CODES:
 - (CP) - COMFORT PLUS
 - (OSB) - OBSOURED
 - (DG) - DOUBLE GLAZED
 - (DT) - COMFORTONE
 - (SGL) - SINGLE GLAZED LOW EMISSION GLASS
 - (SG) - SMART GLASS SP10 CLEAR



NEW HOME CONTRACT 1

RESIDENCE FOR: **Kim Sung Hee**
Lot A, 33 Sharp Street, Belmonte NSW 2192

Burbank
Homebuilding Solutions

Burbank Australia (NSW) Pty Ltd. ACN: 633 828 033 FC: 633 828 0222
 Level 3, 88 Phillip Street, Parramatta NSW 2150
 ABN: 88 610 822 770 A/CN: 610 822 770, BL: 295827C

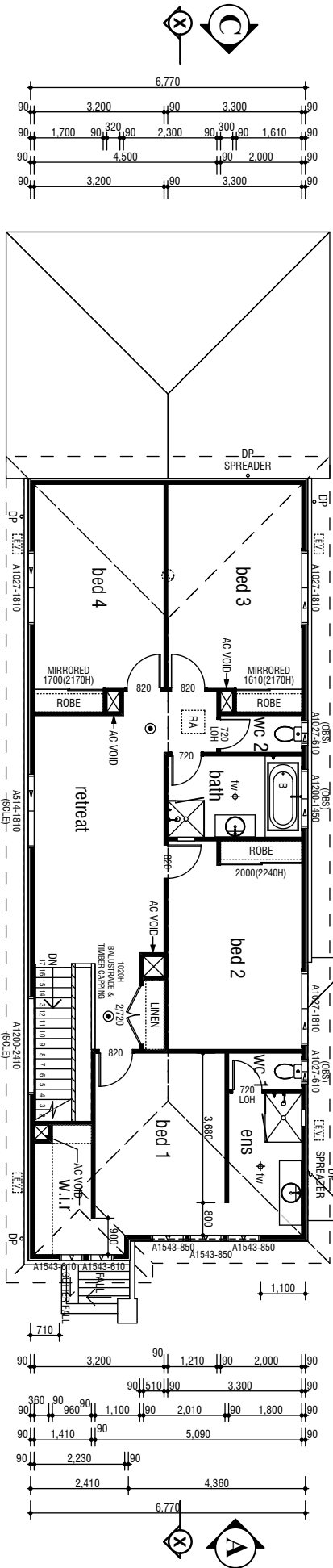
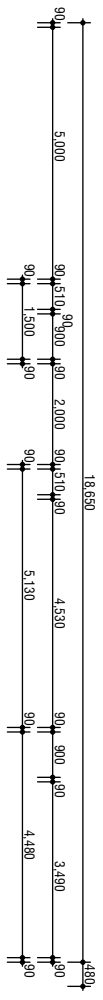
FLOOR AREAS		AMENDMENTS	
GND FL.	128.50m ²	1	DB 14.03.22
FIRST FL.	135.41m ²	2	DB 17.03.22
CAR AC	38.61m ²	Provide DBS to certain III Plans revised to latest requirements	
SUB TOTAL	292.52m²		
V&P, P&L	2.87m ²		
ALFresco	16.60m ²		
TOTAL	318.40m²		

Ground Floor Plan		CONTRACT NO.	
Robertson 255		186870	
DESIGN ID:	N.S.W.	CONTRACT NO.:	NHP
SPECIFICATION:	ISSUE	DATE:	13.12.21
MASTER:	DB 23.01.22	DATE:	06.22/5/18
SCALE:	1:100	SHEET NO.:	02-1
		5 of 18	
		N.S.W.	

WORK SAFELY

STAIRCASE WALL BY STAIR MANUFACTURER

NOTE:
PROVIDE R2.0 SOUNDPROOF INSULATION TO INTERNAL WALLS BED 3/BED 4



5.6
NATIONWIDE
RESIDENTIAL CERTIFIED CONTRACTOR
57.3
www.natwide.com.au

Assessor: Ian Fry
Accreditation No. DNW12/1441
Address: 33 Sharp Street, Belmore, NSW, 2192
hstar.com.au

GENERAL NOTES:-

- WEATHER AS IN ACCORDANCE WITH BCA REQUIREMENTS
- STAIRS: TREAD 250MM, RISE: 190MM
- BALUSTRADE: 1.1 STAIRS 650MM HIGH AT LANDINGS, 1000MM HIGH
- INTERIOR DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE
- UNLESS OTHERWISE SHOWN, HANDED DOORS TO BE 850 WIDE
- EXTERNAL DIMENSIONS = 11 BRICK + 40 GYMTY + 90 STUD
- REF: THE V.M AND C.D SYMBOLS INDICATE POSITION ONLY
- DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LEFT HAND HINGES IN ACCORDANCE WITH BCA AMENDMENT 3 PART 8.3.3
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A P 2.4.5
- WINDOW GLAZING CODES:
(O) - DOUBLE GLAZED
(D) - DOUBLE GLAZED LOW EMISSION GLASS
(S) - SMART GLASS SP10 CLEAR
(S) - SMART GLASS SP10 CLEAR
- WINDOW GLAZING CODES:
(CP) - COMFORT PLUS
(OS) - OBSOURED
(D) - DOUBLE GLAZED
(D) - DOUBLE GLAZED LOW EMISSION GLASS
(S) - SMART GLASS SP10 CLEAR
- ROOF ACCESS
- CEILING VENTS
- SMOKE ALARM
- DOWNPIPE CONNECTED TO STORMWATER
- DOWNPIPE CONNECTED TO RAINWATER TANK
- LOAD BEARING WALL

NEW HOME CONTRACT 1

RESIDENCE FOR: **Kim Sung Hee**
Lot A, 33 Sharp Street, Belmore NSW 2192

Burbank
#burbank/develop
Burbank Australia (NSW) Pty Ltd. ACN 6928 0339 FC (03) 9228 0222
Level 3, 88 Phillip Street, Parramatta NSW 2150
ABN: 88 610 822 770 AOV: 610 822 770. BL: 295827C

First Floor Plan

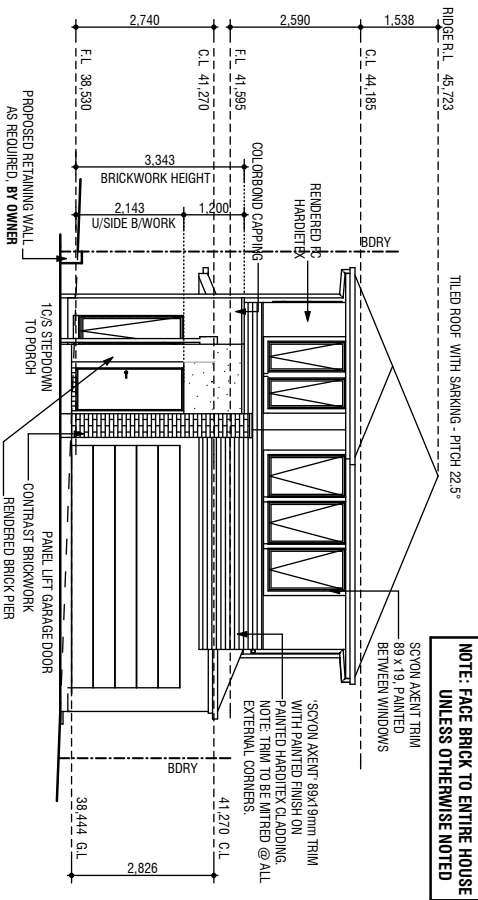
Robertson 2ss

DESIGN ID:	CONTRACT NO.:	SCALE:
186870	186870	1:100
SPECIFICATION: N.S.W.	NHP	MHC
S.I. NO.	ISSUE	MASTER
06	06/22/18	WK 13.12.21 DB 23.01.22
HT:		
		N.S.W.

AMENDMENTS

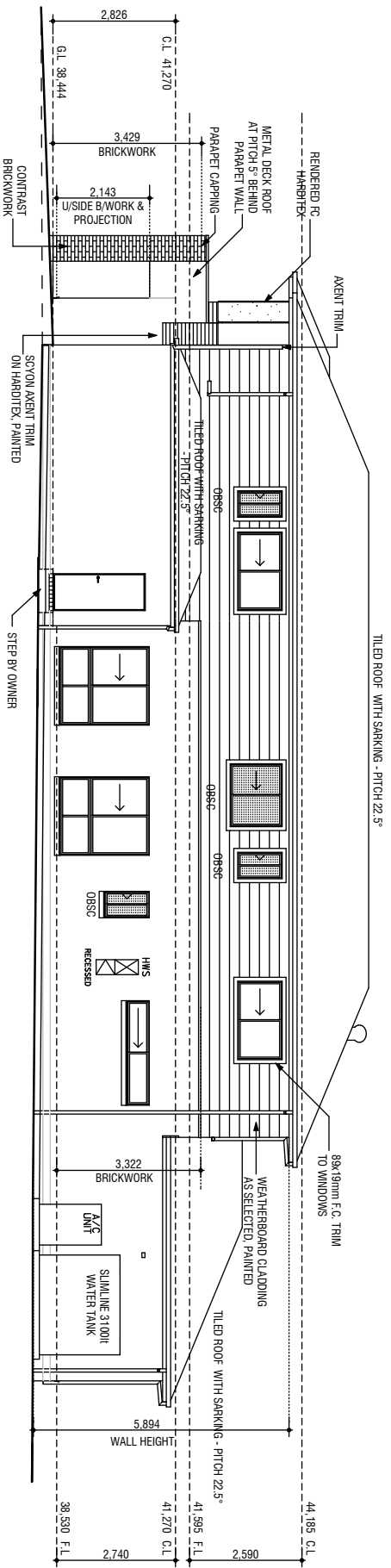
NO.	DATE	DESCRIPTION
1	08/14/03/22	Provide DBB to certain III
2	08/17/03/22	Plans revised to meet requirements

HAND: **02-2**
SHEET NO: **6 of 18**



NOTE: FACE BRICK TO ENTIRE HOUSE UNLESS OTHERWISE NOTED

Elevation A



Elevation B

5.6 NATIONWIDE HOUSE RATING

Assessor Ian Fry
 Accreditation No. DMN/21/441
 Address 33 Sharp Street, Belmore, NSW, 2192
 0007124605 14 Mar 2022
 57.3
 hstarc.com.au

GENERAL NOTES:-

- WEATHERS IN ACCORDANCE WITH BCA REQUIREMENTS
- STAIRS: TREAD 250MM MIN, RISE 190MM
- BALUSTRADE: 1.1 METRES ABOVE FINISH AT LANDING, 1.00M MIN HIGH
- INTERNAL DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE
- UNLESS OTHERWISE SHOWN, HANDED DOORS TO BE 850 WIDE
- EXTERNAL DOORS: 1100 BRICK + 40 GUNIT + 90 STUD
- INTERNAL DOORS: 900 BRICK + 40 GUNIT + 90 STUD
- REF: THE V.M. AND C.O. SYMBOLS INDICATE POSITION ONLY
- EXPANSION JOINTS ARE TO BE PROVIDED AS SHOWN
- DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER

- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LEFT OFF FINISHES IN ACCORDANCE WITH BCA AMENDMENT 3 PART 3.8.3.3
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A. P.2.4.5

- WINDOW GLAZING CODES: (CSP) COMFORT PLUS (OSB) ONSCREEN (DGT) COMFORTONE (SCE) SINGLE GLAZED LOW EMISSIVITY GLASS (SG) SMART GLASS SP10 CLEAR
- ROOF ACCESS
- CEILING VENTS
- SMOKE ALARM
- DOWNPIPE CONNECTED TO STORMWATER
- DOWNPIPE CONNECTED TO RAINWATER TANK
- LOAD BEARING WALL

- EAVE VENT

NEW HOME CONTRACT 1

RESIDENCE FOR: **Kim Sung Hee**
 Lot A, 33 Sharp Street,
 Belmore NSW 2192

External Elevations
Robertson 255

DESIGN ID	CONTRACT NO.	186870
SPECIFICATION: N.S.W.	NHP	MHC
DATE: 06/22/18	MASTER	WK 13.12.21
HT:	DB 23.01.22	WO

AMENDMENTS

NO.	DATE	DESCRIPTION
1	08/14/03/22	Provide DEB to certain III
2	08/17/03/22	Plans revised to meet requirements

HAND: **03-1**
 SHEET NO: **7 of 18**

SCALE: 1:100

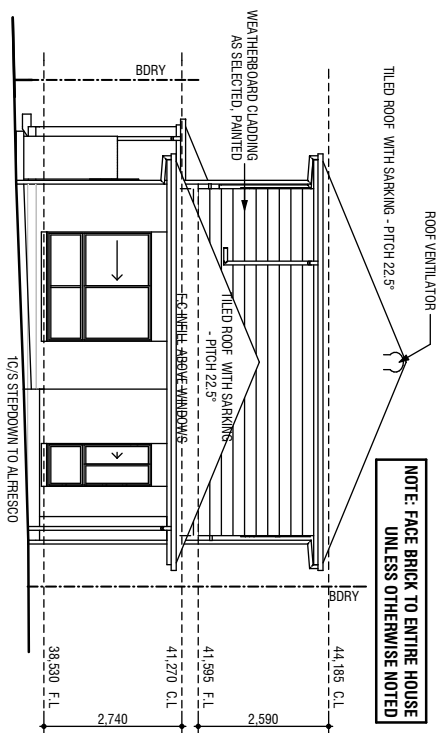
Burbank
 Residential Services
 Burbank Australia (NSW) Pty Ltd. ACN: (03) 9528 0333 FC: (03) 9528 0222
 Level 3, 88 Phillip Street, Parramatta NSW 2150
 ABN: 88 610 822 770 AOV: 610 822 770. BL: 259827C

Corolla

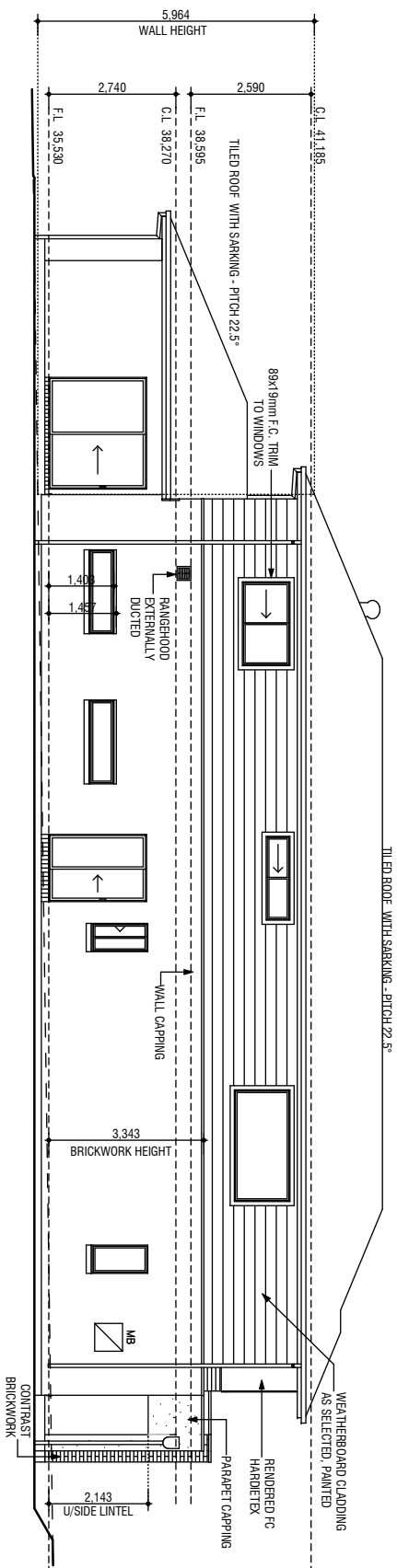
N.S.W.

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Elevation C



Elevation D

GENERAL NOTES:-

- FEATURES IN ACCORDANCE WITH BCA REQUIREMENTS
- STAIRS: TREAD 250MM DEPTH, 190MM RISE
- BALUSTRADE: 1.1 STAIRS 600MM HIGH AT LANDING, 1000MM HIGH
- INTERNAL DIMENSIONS UNLESS OTHERWISE INDICATED
- UNLESS OTHERWISE SHOWN, HANDED DOORS TO BE 850 WIDE
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - EXTERNAL 240MM = 110 BRICK + 40 GYPSY + 90 STUD
 - INTERNAL 90MM STUD
- REF: THE V.M AND C.O DIMENSIONS INDICATE POSITION ONLY
- EXPANSION JOINTS ARE TO BE PROVIDED AS SHOWN
- DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER

- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LEFT OFF HINGES IN ACCORDANCE WITH BCA AMENDMENT 3 PART 3.8.3.3
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A P.2.4.5

- ROOF ACCESS
- CEILING VENTS
- SMOKE ALARM
- DOWNPIPE CONNECTED TO STORMWATER
- DOWNPIPE CONNECTED TO HANWATER TANK
- LOAD BEARING WALL

- WINDOW GLAZING CODES:
 - (OSB) - ONSHORE
 - (DGL) - DOUBLE GLAZED
 - (CPT) - COMFORT PLUS
 - (SGL) - SINGLE GLAZED LOW EMISSIVITY GLASS
 - (SG) - SMART GLASS SP10 CLEAR
- EXCIT - BAY VENT
- WINDOW GLAZING CODES:
 - (OSB) - ONSHORE
 - (DGL) - DOUBLE GLAZED
 - (CPT) - COMFORT PLUS
 - (SGL) - SINGLE GLAZED LOW EMISSIVITY GLASS
 - (SG) - SMART GLASS SP10 CLEAR

NEW HOME CONTRACT 1

RESIDENCE FOR: **Kim Sung Hee**
Lot A, 33 Sharp Street,
Belmore NSW 2192



Burbank Australia (NSW) Pty Ltd. ACN: 603 9828 0338 FC: 603 9828 0222
 Level 3, 88 Phillip Street, Parramatta NSW 2150
 ABN: 88 610 822 770 AOV: 610 822 770. BL: 2596271C

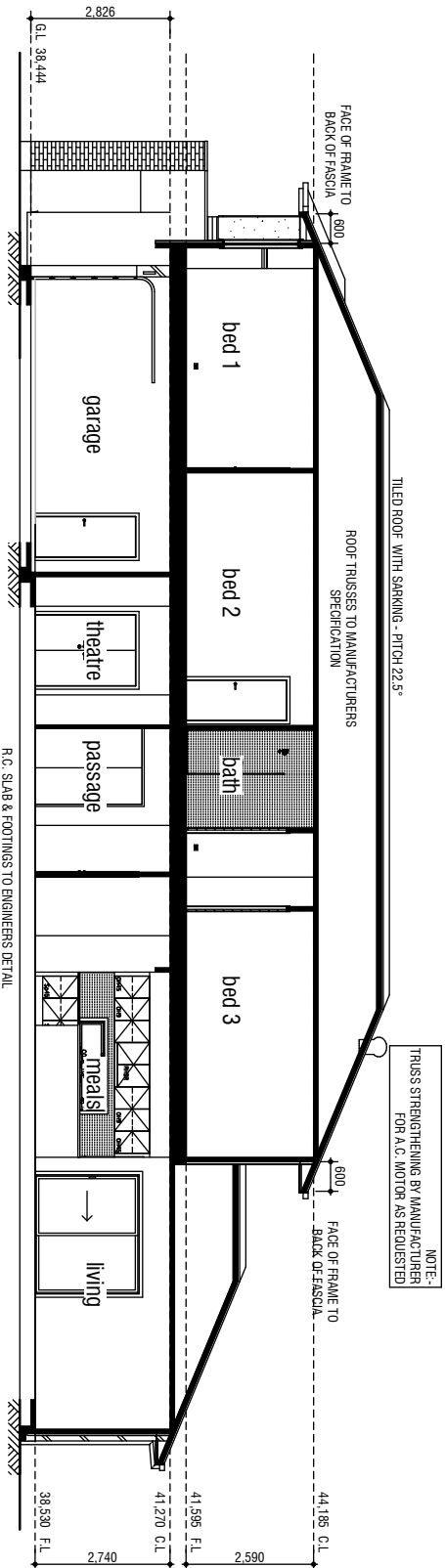
External Elevations

Robertson 255

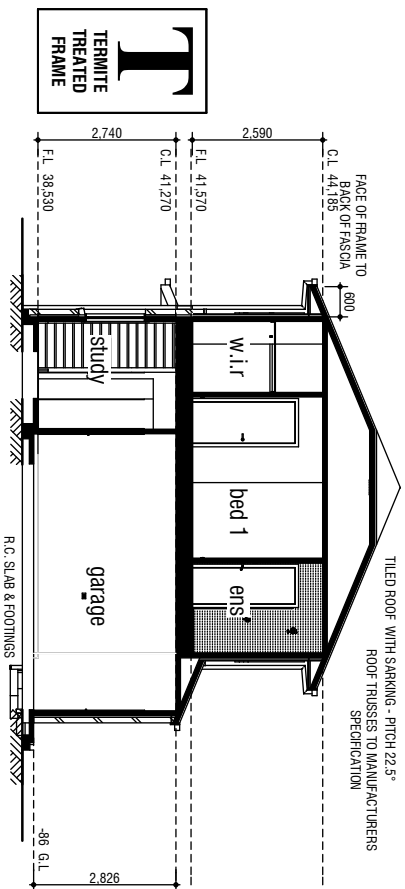
03-2
8 of 18

DESIGN ID	CONTRACT NO.	SCALE
DESIGN ID: N.S.W.	CONTRACT NO.: 186870	SCALE: 1:100
SPECIFICATION: N.S.W.	NHP	
S.I. NO	INC:	
ISSUE	WO	
MASTER	WK: 13.12.21	DB: 23.01.22
DATE: 06/22/18		
HT:		

NO.	DATE	DESCRIPTION
1	08/14/03/22	Provide DEB to certain III
2	08/17/03/22	Plans revised to latest requirements



Section X-X



Section Y-Y

GENERAL NOTES:-

- WEATHER AS IN ACCORDANCE WITH BCA REQUIREMENTS
- STAIRS: TREAD 250MM UNDER, 190MM
- BALUSTRADE: AT STAIRS 900MM HIGH
- AT LANDING 1000MM HIGH
- INTERNAL DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE
- UNLESS OTHERWISE SHOWN, HINGED DOORS TO BE 850 WIDE
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - EXTERNAL 240mm = 110 BRICK + 40 GYMTY + 90 STUD
 - INTERNAL 90mm STUD
- REF: THE V.M AND C.O.D SYMBOLS INDICATE POSITION ONLY
- REVISION POINTS ARE TO BE PROVIDED AS SHOWN
- DIMENSION SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER

- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LEFT OFF HINGES IN ACCORDANCE WITH BCA AMENDMENT 3 PART 3.8.3.3
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A P.2.4.5

- ROOF ACCESS
- SMOKE VENTS
- DOWNPIPE CONNECTED TO STORMWATER
- DOWNPIPE CONNECTED TO RAINWATER TANK
- LOAD BEARING WALL

- WINDOW GLAZING CODES:
 - (OSB) - OBSOURED
 - (DGL) - DOUBLE GLAZED
 - (CT) - COMFORTONE
 - (SGL) - SINGLE GLAZED LOW EMISSION GLASS
 - (SG) - SMART GLASS SP10 CL 648
- WINDOW GLAZING CODES:
 - (CP) - COMFORT PLUS
 - (DGL) - DOUBLE GLAZED
 - (CT) - COMFORTONE
 - (SGL) - SINGLE GLAZED LOW EMISSION GLASS
 - (SG) - SMART GLASS SP10 CL 648
- EAVE VENT

PROVIDE R2.0 INSULATION TO EXTERNAL WALLS EXCLUDING GARAGE WALL. PROVIDE R4.0 INSULATION TO ROOFED CEILING EXCLUDING GARAGE AND ALFRESCO CEILING. PROVIDE BRADFORD ENVIROSEAL PROCTOR WRAP TO ALL EXTERNAL WALLS.

5.6 NATIONWIDE HOUSE RATED 5.6/5.0

57.3

0007124605 14 Mar 2022

Assessor Ian Fry Accreditation No. DMN/12/1441

Address 33 Sharp Street, Balmore, NSW, 2192

hstar.com.au

NEW HOME CONTRACT 1

RESIDENCE FOR: **Kim Sung Hee**
 Lot 4, 33 Sharp Street,
 Balmore NSW 2192

Burbank
 Home & Business
 Burbank Australia (NSW) Pty Ltd. Ph: (03) 9328 0233 Fx: (03) 9328 0222
 Level 3, 88 Phillip Street, Parramatta NSW 2150
 ABR: 88 610 822 770 AOV: 610 822 770 BL: 296827C

External Elevations/Sections

DESIGN ID:	186870	CONTRACT NO.:	
SPECIFICATION:	N.S.W.	NHP:	MHC:
DATE:	06/22/18	MASTER:	DB 23/01/22
HT:			
<p>Robertson 255</p>		<p>Cornelia</p>	
<p>SCALE: 1:100</p>		<p>HAND: 03-3</p>	
<p>SHEET NO: 9 of 18</p>		<p>N.S.W.</p>	

NO.	DATE	DESCRIPTION
1	DB 14/03/22	Provide DBB to certain III
2	DB 17/03/22	Plans revised to latest requirements

BASIX NOTES TABLE:

WARELE POD SIZE: HOUSE WARELE POD:	310mm SLAB - 225mm POD THICKNESS
PROJECT TYPE: SEPARATE DWELLING HOUSE: NO. OF BEDROOMS:	KNOCK DOWN/REBUILD 5
SITE DETAILS: SITE AREA:	505.9 m ²
TOTAL ROOF AREA (INCLUDING EAVES): TOTAL SQT LANGSARAB AREA (INCLUDES ALL UNBUILT LEND AREA & OF SITE & EXCLUDES ALL BUILDING(S) DRIVEWAY & PATHS)	212 m ² 209 m ²
RAINFATER: IS A RAINWATER TANK PROPOSED: MINIMUM RAINWATER TANK SIZE: ROOF AREA COLLECTED BY RAINWATER TANK: RAINWATER CONNECTED TO:	YES 3100 LITRES 212 m ² GARBERV/ TOILETS/ LAUNDRY
WATER SUPPLY: IS DUAL / RETICULATED WATER AVAILABLE TO SITE: IS TOWN WATER AVAILABLE TO SITE:	NO YES
WATER FIXTURES: SHOWER HEAD BATING: TOILET FLUSHING SYSTEM RATING: KITCHEN TAP FITTING RATING: BASIN TAP RATING:	3 STAR - 8 LITRES/MINUTE 4 STAR 4 STAR 4 STAR
HOT WATER SYSTEM: HOT WATER SYSTEM TYPE:	GAS INSTANT 6 STAR HWS
AIR CONDITIONING SYSTEM: IS AIR CONDITIONING PROPOSED TO THE DWELLING: AIR CONDITIONING SYSTEM BY BUILDER: (ON 2 ZONES : LIVING RNS, X 1 ZONE & BEDS X 1 ZONE) LIVING & BEDROOM AREA COOLING SYSTEM: LIVING & BEDROOM AREA HEATING SYSTEM:	YES NO 1 PHASE E-E R 3.25 C.O.P. 3.81
COOKING APPLIANCES: COOKING APPLIANCE TYPE:	GAS COOKTOP WITH ELECTRIC OVEN
THERMAL COMFORT: MAX. EAVE WIDTH INCLUDING EAVE FASCIA & GUTTER: EXTERNAL WALL INSULATION (EXCLUDING GARAGE): CEILING INSULATION (EXCLUDING ABOVE GARAGE & BETWEEN OF CEILING AND FLOOR ON 2 STORY DWELLINGS): IS AN TICOM BLANKET PROVIDED TO UNDERSIDE OF ROOF: IS SAKING PROVIDED TO EXTERNAL WALLS: ROOF MATERIAL TYPE: ROOF COLOUR CLASSIFICATION:	600 mm R 2.0 R 4.0 NO YES YES DARK
GENERAL: WEATHER STRIPPING TO ALL EXTERNAL DOORS: WELL VENTILATED REFRESHMENT SPACE: CLOTHES LINE TYPE:	YES NO INDOOR & OUTDOOR (BY OWNER)
EXHAUSTS: ALL EXHAUSTS TO BE SEALED:	YES
DOWNLIGHTS:	ALL DOWNLIGHT INSTALLATIONS TO BE DOWNERED AND COVERABLE IN ACCORDANCE WITH THE RELEVANT STANDARDS INSTRUCTIONS & AUSTRALIAN STANDARDS

GLAZING SCHEDULE

Windows:	ID	Size (HxW)	Frame Material	Glazing Type
Affresco and Kitchen	2057 x 850	Aluminium	CLDR	
Sliding Window	1200 x 1450	Aluminium	OBSCURE	
Bath	1543 x 850	Aluminium	OBSCURE	
Bed 1	1543 x 850	Aluminium	CLDR	
Awaying Window	1543 x 850	Aluminium	CLDR	
Bed 1	1543 x 850	Aluminium	CLDR	
Awaying Window	1027 x 610	Aluminium	OBSCURE	
Bed 2 and Wc 1	1027 x 610	Aluminium	OBSCURE	
Bed 2	1027 x 610	Aluminium	CLDR	
Sliding Window	1027 x 1810	Aluminium	CLDR	
Bed 3	1027 x 1810	Aluminium	CLDR	
Sliding Window	1027 x 1810	Aluminium	CLDR	
Bed 4	1027 x 1810	Aluminium	CLDR	
Sliding Window	514 x 1810	Aluminium	CLDR	
Butler	1543 x 850	Aluminium	CLDR	
Face Window	1543 x 850	Aluminium	CLDR	
Eno and Bed 1	1200 x 610	Aluminium	CLDR	
Awaying Window	2057 x 1810	Aluminium	CLDR	
Guest	514 x 1810	Aluminium	CLDR	
Sliding Window	514 x 1810	Aluminium	CLDR	
Kitchen	2057 x 2170	Aluminium	SOLE	
Living	514 x 2410	Aluminium	CLDR	
Sliding Window	1027 x 610	Aluminium	OBSCURE	
Por	2057 x 610	Aluminium	CLDR	
Sliding Window	514 x 1810	Aluminium	SOLE	
Retreat	1200 x 610	Aluminium	CLDR	
Sliding Window	2057 x 1810	Aluminium	CLDR	
Sliding Window	1200 x 610	Aluminium	CLDR	
Sliding Window	2057 x 1810	Aluminium	CLDR	
Sliding Window	1200 x 2410	Aluminium	SOLE	
Void	1543 x 610	Aluminium	CLDR	
W.I.1	1543 x 610	Aluminium	CLDR	
W.I.1	1543 x 610	Aluminium	CLDR	
W.I.1	1543 x 610	Aluminium	CLDR	
Wc 2	1027 x 610	Aluminium	OBSCURE	
Sliding Window				
DOORS:				
ID	Size (HxW)	Frame Material	Glazing Type	
Swing Door	2190 x 850	Aluminium	CLDR	
Affresco and Living	2110 x 2410	Aluminium	SOLE	
Sliding Door	2110 x 1450	Aluminium	CLDR	
Lid	2190 x 850	Aluminium	CLDR	
Porco and Entry				
Swing Door				

BASIX & THERMAL COMMENTS

FLOORS	1st Floor Timber	2nd Floor Timber	3rd Floor Timber	4th Floor Timber
WALLS	1st Floor Brick Veneer Insulation 2nd Floor Brick Veneer Insulation 3rd Floor Brick Veneer Insulation 4th Floor Brick Veneer Insulation	2nd Floor Brick Veneer Insulation 3rd Floor Brick Veneer Insulation 4th Floor Brick Veneer Insulation	3rd Floor Brick Veneer Insulation 4th Floor Brick Veneer Insulation	4th Floor Brick Veneer Insulation
CEILING	1st Floor Plaster 2nd Floor Plaster 3rd Floor Plaster 4th Floor Plaster	2nd Floor Plaster 3rd Floor Plaster 4th Floor Plaster	3rd Floor Plaster 4th Floor Plaster	4th Floor Plaster
ROOF AREA	Dark	Medium	Light	White
WINDOWS	Double Glazed Triple Glazed Low E Glass Insulated Shutters	Double Glazed Triple Glazed Low E Glass Insulated Shutters	Double Glazed Triple Glazed Low E Glass Insulated Shutters	Double Glazed Triple Glazed Low E Glass Insulated Shutters
WATER	Water Saving Water Recycling Water Recycling	Water Saving Water Recycling Water Recycling	Water Saving Water Recycling Water Recycling	Water Saving Water Recycling Water Recycling
ENERGY	Energy Star Energy Star Energy Star	Energy Star Energy Star Energy Star	Energy Star Energy Star Energy Star	Energy Star Energy Star Energy Star
VENTILATION	Mechanical Natural Natural	Mechanical Natural Natural	Mechanical Natural Natural	Mechanical Natural Natural
OTHER	Other Other Other	Other Other Other	Other Other Other	Other Other Other

5.6
NATIONWIDE
HOUSE
RATING
57.3

Assessor: Ian Fry
Address: 33 Sharp Street, Belmore, NSW, 2192
0007124605 14 Mar 2022

hstar.com.au

NEW HOME CONTRACT 1

RESERVE FOR:
Kim Sung Hee
Lot A, 33 Sharp Street,
Belmore NSW 2192

Burbank
Home & Glazing
Burbank Australia (NSW) Pty Ltd. ACN 603 8328 0338 FC (02) 9528 0222
Level 3, 88 Phillip Street, Parramatta NSW 2150
ABN: 88 610 822 770 AOV: 810 822 770 BL: 295827C

Basix & Glazing Schedule

Robertson 255
CONTRACT NO: 186870
SCALE: 1:100

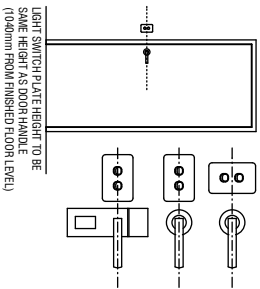
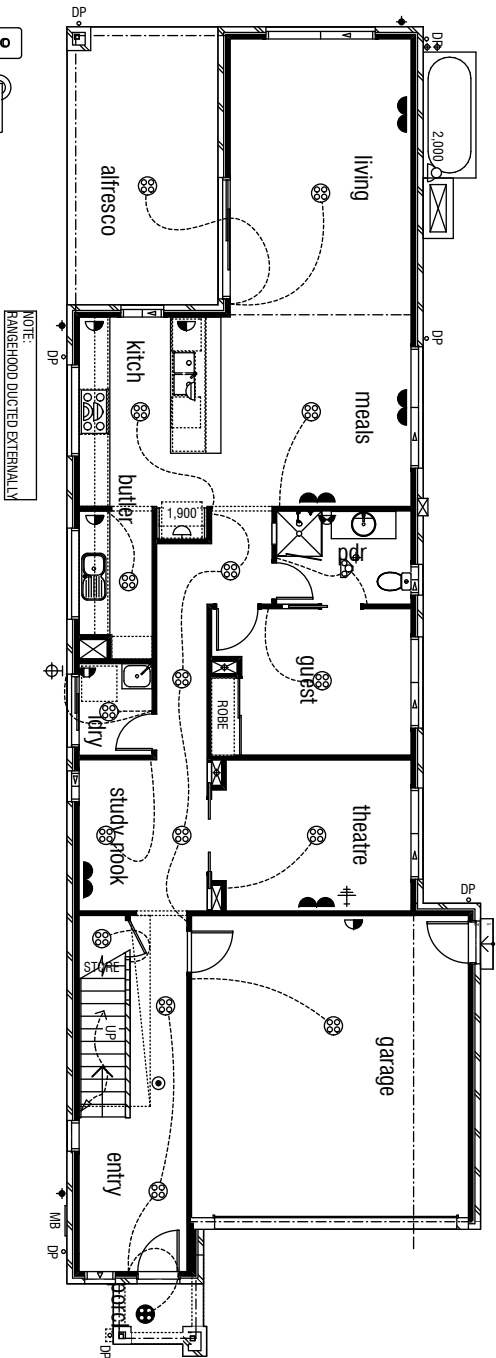
DESIGN ID:	N.S.W.	NHP:	IMC:	WO:
SPECIFICATION:	ISSUE	MASTER	DB 23/01/22	
DATE:	06/22/18			

Basix & Glazing Schedule

Robertson 255
CONTRACT NO: 186870
SCALE: 1:100

DESIGN ID:	N.S.W.	NHP:	IMC:	WO:
SPECIFICATION:	ISSUE	MASTER	DB 23/01/22	
DATE:	06/22/18			

- GENERAL NOTES:-**
- TOP OF HEADER/DOY TO BE 1900mm MAXIMUM ABOVE GROUND LEVEL
 - HEIGHTS MEASURED FROM FLOOR LEVEL UNLESS OTHERWISE NOTED
 - ALL POWER POINTS ARE TO BE DIMENSIONED TO MANUFACTURERS SPECIFICATIONS
 - THE POSITION OF DOWNLIGHTS IS INDICATIVE ONLY DUE TO TRUSS AND FIRST FLOOR JOISTS LOCATION



- ELECTRICAL LEGEND:-**
- - CEILING LIGHT OUTLET
 - ⊕ - WALL LIGHT OUTLET AT 1900
 - - DOWN LIGHT FITTING
 - ⦿ - FIVE BALL LIGHT
 - ⦿ - HALOGEN DOWNLIGHT
 - ⦿ - LED DOWNLIGHT
 - ⦿ - EAVE FLOOD LIGHT
 - ⦿ - WALL FLOOD LIGHT
 - ⦿ - FLUORESCENT LIGHT
 - ⦿ - FLOOR LIGHT OUTLET
 - ⦿ - FLOOR LIGHT OUTLET
 - ⦿ - TRUCK LIGHTS
 - ⦿ - SMOKE ALARM
 - ⦿ - COMPACT FLUORO GLOBES
 - ⦿ - COMPACT FLUORO DOWNLIGHT
 - ⦿ - EXHAUST FAN HEATER AND LIGHT
 - ⦿ - EXHAUST FAN
 - ⦿ - EXHAUST FAN LIGHT
 - ⦿ - FLUORESCENT EXHAUST FAN LIGHT
 - ⦿ - METER BOX
 - ⦿ - CIRCUIT BREAKER BOX
 - ⦿ - DATA OUTLET
 - ⦿ - PHONE POINT AT 200/1400
 - ⦿ - DATA DISTRIBUTION CABINET
 - ⦿ - DIMMER SWITCH
 - ⦿ - FRONT DOOR CHIME UNIT
 - ⦿ - CEILING FAN
 - ⦿ - RANGE PINS DIRECT WIRE TO W/B
 - ⦿ - ROOF ACCESS
 - ⦿ - DUCTED INLINE FAN
 - ⦿ - DIN SOCKET/STEREO AT 700
 - ⦿ - VACUUM INLET
 - ⦿ - SPEAKER POINT
 - ⦿ - SPEAKER POINT SUBWOOFER
 - ⦿ - T.V. POINT AT 200
 - ⦿ - T.V. POINT
 - ⦿ - USB CHARGER TO POWER PT.

SPP	DPP	Height	SPP	DPP	Height
⦿	⦿	200 FROM F.F.L.	⦿	⦿	1275 FROM F.F.L.
⦿	⦿	300 FROM F.F.L.	⦿	⦿	1300 FROM F.F.L.
⦿	⦿	750 FROM F.F.L.	⦿	⦿	1400 FROM F.F.L.
⦿	⦿	970 FROM F.F.L.	⦿	⦿	2000 FROM F.F.L.
⦿	⦿	1000 FROM G.L. EXT.	⦿	⦿	INDOOR SPACE
⦿	⦿	1000 FROM F.F.L.	⦿	⦿	
⦿	⦿	1100 FROM F.F.L.	⦿	⦿	



5.6
NATIONWIDE HOUSE
57.3
www.nshfrfrs.gov.au

Assessor Ian Fry
Accreditation No. DMN/12/1441
Address 33 Sharp Street, Belmore, NSW, 2192
hstar.com.au

0007124605 14 Mar 2022

NEW HOME CONTRACT 1

RESIDENCE FOR: **Kim Sung Hee**
Lot A, 33 Sharp Street,
Belmore NSW 2192

Burbank
#trapezoidaldehyde
Burbank Australia (NSW) Pty Ltd. ACN: 639 828 0238 FC: 639 828 0222
Level 3, 88 Phillip Street, Parramatta NSW 2150
ABN: 88 610 822 770 AOV: 610 822 770 BL: 295827C

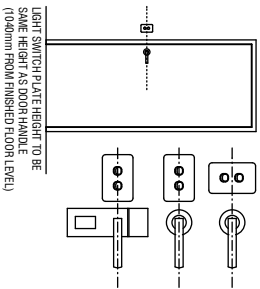
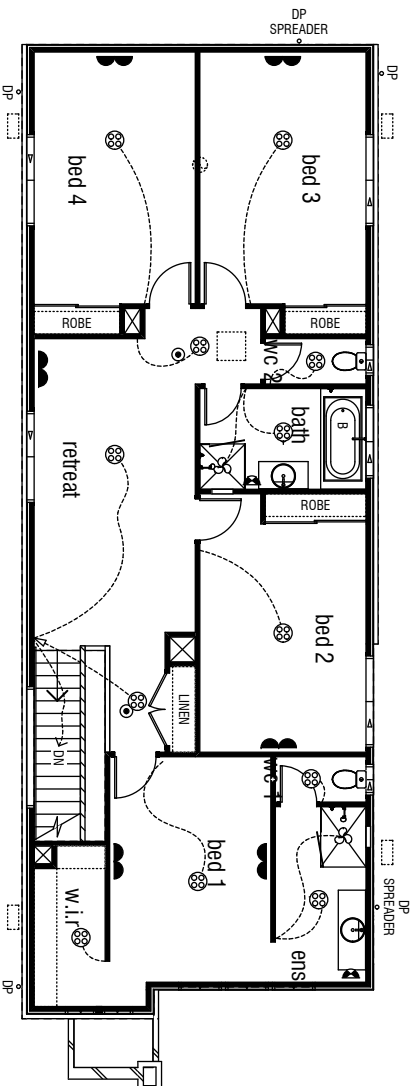
Electrical Plan
Robertson 255
CONTRACT NO: 186870
SCALE: 1:100

DESIGN ID	SPECIFICATION	ISSUE	MASTER	CONTRACT NO.	NHP	MHC	W/O
04-1	N.S.W.	MASTER	04-1	186870			
11 of 18		06/22/5/18					

AMENDMENTS

NO	DATE	DESCRIPTION
1	08/14/03/22	Provide DEB to contain III
2	08/17/03/22	Plans revised to meet requirements

- GENERAL NOTES:-**
- TOP OF HEADBOX TO BE 1900mm MAXIMUM ABOVE GROUND LEVEL
 - HEIGHTS MEASURED FROM FLOOR LEVEL UNLESS OTHERWISE NOTED
 - UNLESS OTHERWISE DIMENSIONED ALL POWER POINTS ARE TO BE LOCATED AT 1200mm TO 1300mm ABOVE FINISHED FLOOR LEVELS
 - POWER POINTS TO BE DIMENSIONED TO SUIT MANUFACTURERS REQUIREMENTS ONLY DUE TO TRUSS AND FIRST FLOOR JOISTS LOCATION



- ELECTRICAL LEGEND:-**
- - CEILING LIGHT OUTLET
 - ⊕ - WALL LIGHT OUTLET AT 1900
 - - DOWN LIGHT FITTING
 - ⊙ - FIVE BALL LIGHT
 - ⊙ - HALOGEN DOWNLIGHT
 - ⊙ - LED DOWNLIGHT
 - ⊕ - FIVE FLOOD LIGHT
 - ⊕ - WALL FLOOD LIGHT
 - ⊕ - FLOURESCENT LIGHT
 - ⊕ - FLOOR LIGHT OUTLET
 - ⊕ - FLOOR LIGHT OUTLET
 - ⊕ - TRACK LIGHTS
 - ⊕ - SMOKE ALARM
 - ⊕ - COMPACT FLUORO GLOBES
 - ⊕ - COMPACT FLUORO DOWNLIGHT
 - ⊕ - EXHAUST FAN, HEATER AND LIGHT
 - ⊕ - EXHAUST FAN
 - ⊕ - EXHAUST FAN LIGHT
 - ⊕ - FLOURESCENT EXHAUST FAN LIGHT
 - ⊕ - METER BOX
 - ⊕ - CIRCUIT BREAKER BOX
 - ⊕ - DATA OUTLET
 - ⊕ - PHONE POINT AT 200/1400
 - ⊕ - DATA DISTRIBUTION CABINET
 - ⊕ - DIMMER SWITCH
 - ⊕ - FRONT DOOR CHIME UNIT
 - ⊕ - FRONT DOOR CHIME BUTTON
 - ⊕ - CEILING FAN
 - ⊕ - RANGE PINS) DIRECT WIRE TO W/B
 - ⊕ - ROOF ACCESS
 - ⊕ - DUCTED INLINE FAN
 - ⊕ - DIN SOCKET/STEREO AT 200
 - ⊕ - VACUUM INLET
 - ⊕ - SPEAKER POINT
 - ⊕ - SPEAKER POINT SUBWOOFER
 - ⊕ - T.V. POINT AT 200
 - ⊕ - T.V. POINT
 - ⊕ - USB CHARGER TO POWER PT.

SPP	DPP	Height	SPP	DPP	Height
⊕	⊕	200 FROM F.F.L	⊕	⊕	125 FROM F.F.L
⊕	⊕	330 FROM F.F.L	⊕	⊕	130 FROM F.F.L
⊕	⊕	750 FROM F.F.L	⊕	⊕	1400 FROM F.F.L
⊕	⊕	970 FROM F.F.L	⊕	⊕	2000 FROM F.F.L
⊕	⊕	1000 FROM F.F.L EXT	⊕	⊕	INDOOR SPACE
⊕	⊕	1000 FROM F.F.L	⊕	⊕	
⊕	⊕	1100 FROM F.F.L	⊕	⊕	



5.6
NATIONWIDE HOUSE
57.3
www.nthfrfrs.gov.au

Assessor Ian Fry
Accreditation No. DMN/12/1441
Address 33 Sharp Street, Belmore, NSW, 2192
Instar.com.au

0007124605 14 Mar 2022

NEW HOME CONTRACT 1

RESIDENCE FOR: **Kim Sung Hee**
Lot A, 33 Sharp Street, Belmore NSW 2192

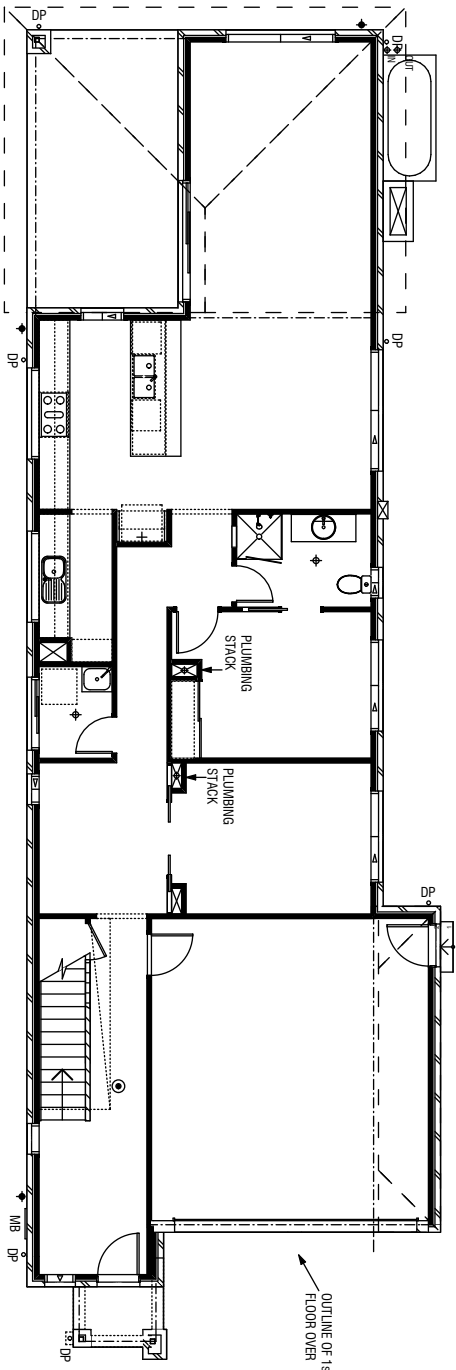
Burbank
#trapsocialtykevents
Burbank Australia (NSW) Pty Ltd. ac. (03) 9328 0238 Fax. (03) 9328 0222
Level 3, 88 Phillip Street, Parramatta NSW 2150
ABN: 88 610 822 770 AOV: 810 822 770. BL: 295827C

Electrical Plan
Robertson 255

DESIGN ID: _____ CONTRACT NO: _____ 188870
SPECIFICATION: N.S.W. NHP IMC WO
S.I. NO: _____ ISSUE: MASTER WK 13.12.21 DB 23.01.22
DATE: 06/22/18

HAND: _____ SHEET NO: **04-2**
SCALE: 1:100 **12 of 18**

N.S.W.



5.6
NATIONWIDE HOUSE
INSPECTED AND RATED
 57.3
STAR RATING
www.nshfr.com.au

0007124605 14 Mar 2022
 Assessor Ian Fry
 Accreditation No. DMN/12/1441
 Address 33 Sharp Street, Belmore NSW, 2192
hstar.com.au

NEW HOME CONTRACT 1

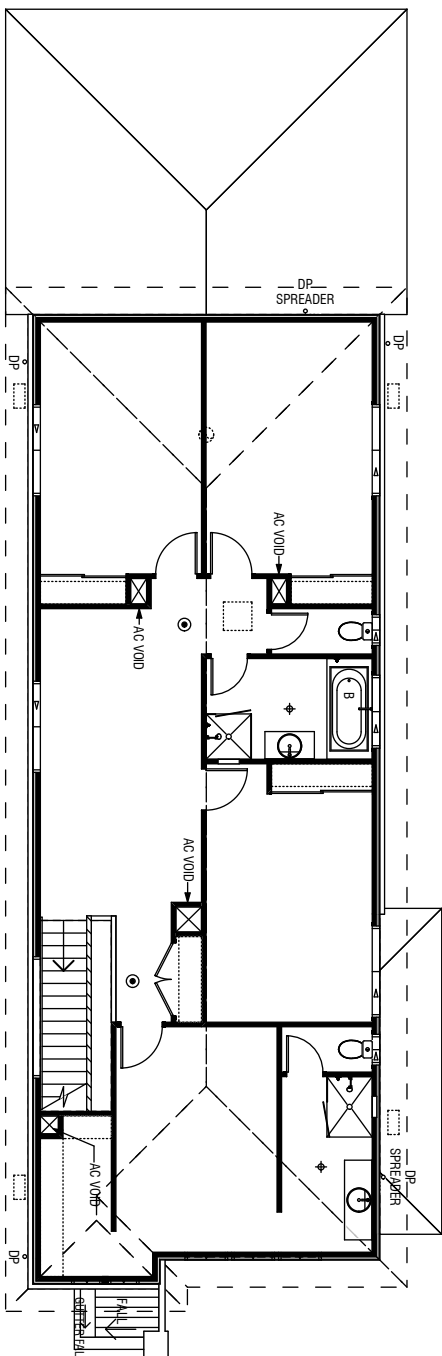
RESIDENCE FOR:
Kim Sung Hee
 Lot A, 33 Sharp Street,
 Belmore NSW 2192

Electrical Plan Blank (GF)

Robertson 2ss

04-3
 SHEET NO. 13 of 18

Burbank <small>Electrical & Telecommunications</small> Burbank Australia (NSW) Pty Ltd. AC. (03) 8328 0338 FC. (03) 8328 0222 Level 3, 88 Phillip Street, Parramatta NSW 2150 ABN: 88 610 822 770 AOV: 810 822 770 BL: 295827C		DESIGN ID: SPECIFICATION: N.S.W. S.I. NO: ISSUE: DATE: 22/5/18 HT:	CONTRACT NO.: NHP: NHC: W/O:	188870 188870 188870 188870
DESIGNER: DRAWN BY: CHECKED BY: DATE:		AMENDMENTS 1 DB 14.03.22 Provide DB to contain III 2 DB 17.03.22 Plans revised to meet requirements		
HAND: SCALE: 1:100		N.S.W.		



0007124605 14 Mar 2022
 Assessor Ian Fry
 Accreditation No. DMN/12/1441
 Address 33 Sharp Street, Belmore, NSW, 2192
 5.6
 NATIONWIDE HOUSE
 57.3
 www.nshfr.com.au
 hstar.com.au

NEW HOME CONTRACT 1

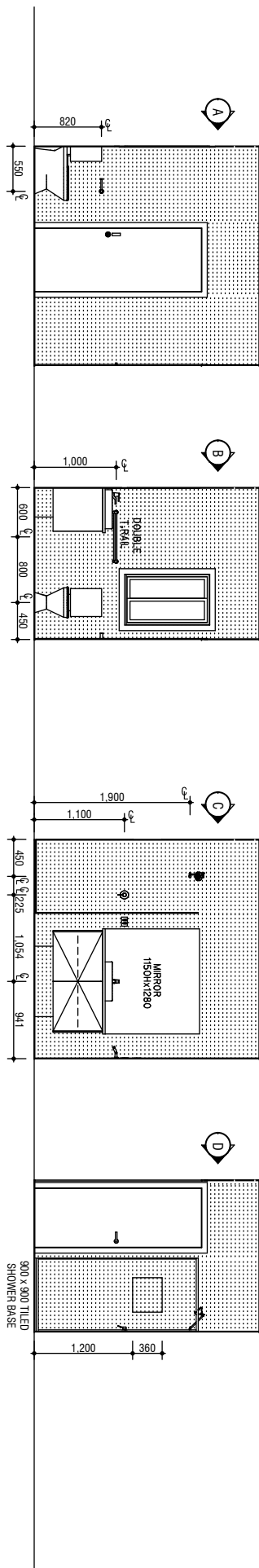
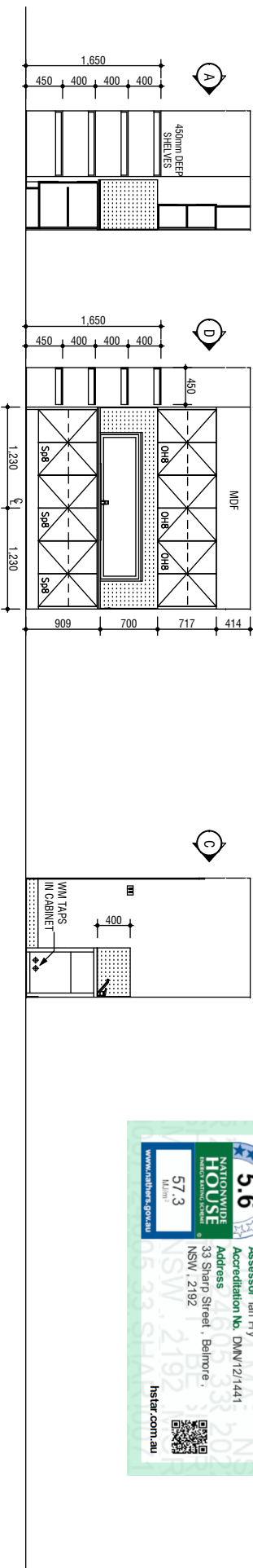
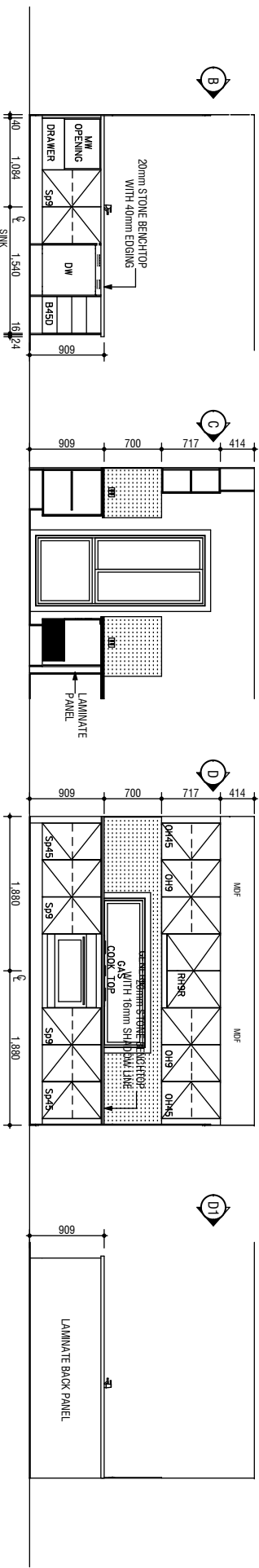
RESIDENCE FOR: **Kim Sung Hee**
 Lot A, 33 Sharp Street,
 Belmore NSW 2192

Electrical Plan Blank (FF)

Robertson 2ss

04-4
 14 of 18

DESIGN ID: 188870		CONTRACT NO: 188870		HAND: 04-4	
SPECIFICATION: N.S.W.		NHP		MHC	
S.I. NO		ISSUE		MASTER	
GMR: 06/22/5/18		DK 13/12/21		DB 23/01/22	
HT:					
Burbank Australia (NSW) Pty Ltd. ACN: 603 8928 0338 FC: 603 8928 0222 Level 3, 88 Phillip Street, Parramatta NSW 2150 ABN: 88 610 822 770 ACN: 610 822 770. BL: 295827C		Corolla		N.S.W.	



Powder

- NOTES:-**
- DIMENSIONS ARE TAKEN FROM FRAME
 - WALL TILE SIZE: _____
 - FLOOR TILE SIZE: _____
 - SKRTING TILES TO BATHROOMS.
 - LAUNDRY AND WC TILE SIZE: _____
 - POWER POINT LOCATION

FITTINGS LOCATIONS	
ITEM	HEIGHT ABOVE FLR
PAPER HOLDER	820
TOWEL RAIL	910/900
TOWEL RINGS	820
SHOWER SOAP HOLDER	1000 NOMINAL

WATER PIPE LOCATIONS					
No.	ITEM	INLET ABOVE FLR	No.	ITEM	INLET ABOVE FLR
1	WATER CLOSET	250	6	SINK	620
2	BIDET	290	7	DISHWASHER	500
3	BATH	UNLESS OTHERWISE SPECIFIED	8	TROUGH	1085
4	SHOWER	1000 (PASS) / 1900 (ROSE)	9	WASHING MACHINE	1275
5	BSIN	600	10	FLOOR WASTE	-

FROM FRAME OFFSETS: (SHOWER ROSE=400 CL), (SHOWER TAPS=575 CL), (SOAP HOLDER=325 CL)

NEW HOME CONTRACT 1

RESURCE FOR: **Kim Sung Hee**
 Lot A, 33 Sharp Street,
 Belmore NSW 2192

Burbank
 Electrical & Plumbing
 Burbank Australia (NSW) Pty Ltd. ACN: (03) 9328 0333 FC: (03) 9328 0222
 Level 3, 88 Phillip Street, Parramatta NSW 2150
 ABRN: 88 610 822 770 AOV: 810 822 770. BL: 259827C

Internal Elevations

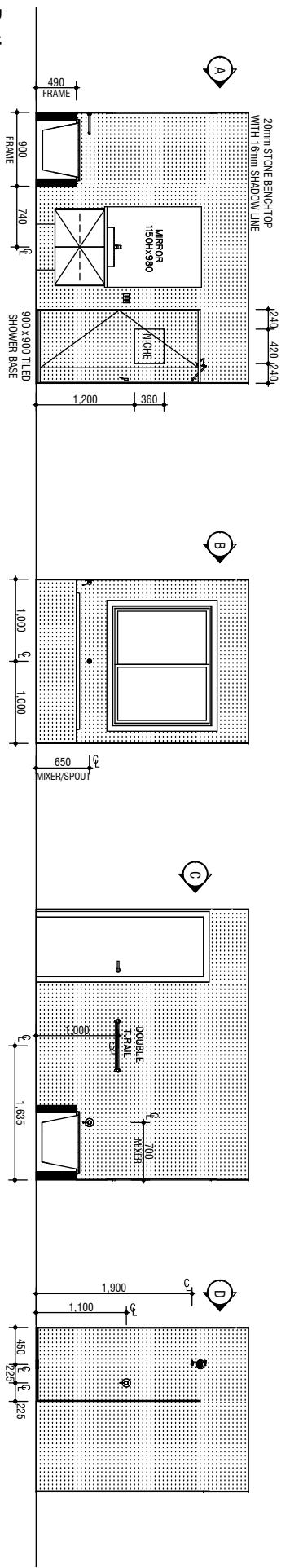
DESIGN ID:	186870	CONTRACT NO.:	186870
SPECIFICATION:	N.S.W.	NHP:	MHC -
S.I. NO:	ISSUE	MASTER:	WK 13.12.21 DB 23.01.22
DATE:	06/22/25/18		

AMENDMENTS	
1	DB 14.03.22 Provide DEB to certain ill
2	DB 17.03.22 Fixes revised to latest requirements

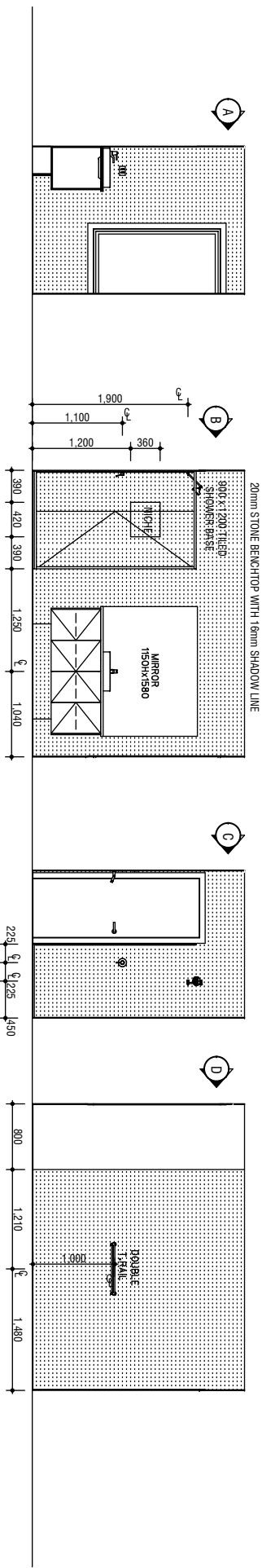
HAND: **05-1**
 SHEET NO: **15 of 18**

CONTRACTOR:	Corolla	SCALE:	1:50
DATE:			
BY:			
FOR:	N.S.W.		

5.6
 NATIONWIDE HOUSE
 57.3
 Assessor Ian Fry
 Accreditation No. DMN/12/1441
 Address: 33 Sharp Street, Belmore, NSW, 2192
 0007124605 14 Mar 2022
 hstar.com.au



Bathroom



Ensuite



WC

NOTES:-

- DIMENSIONS ARE TAKEN FROM FRAME
- WALL TILE SIZE: _____
- FLOOR TILE SIZE: _____
- SKRINTING TILES TO BATHROOMS
- LAUNDRY AND WC TILE SIZE: _____
- ☐ POWER POINT LOCATION

FITTINGS LOCATIONS	
ITEM	HEIGHT ABOVE FLR
PAPER HOLDER	820
TOWEL RAIL	910/1900
TOWEL RINGS	820
SHOWER SOAP HOLDER	1000 NOMINAL

WATER PIPE LOCATIONS					
No.	ITEM	INLET ABOVE FLR	No.	ITEM	INLET ABOVE FLR
1	WATER CLOSET	250	6	SINK	650
2	BIDET	250	7	DISHWASHER	500
3	BATH	UNLESS OTHERWISE STATED	8	TROUGH	1085
4	SHOWER	1000 (PAPS) / 1900 (ROSE)	9	WASHING MACHINE	1275
5	BSIN	600	10	FLOOR WASTE	-

FROM FRAME OFFSETS: SHOWER ROSE = 400 CL, SHOWER UPS = 575 CL, SOAP HOLDER = 325 CL

NEW HOME CONTRACT 1

RESURFACE FOR:

Kim Sung Hee
 Lot A, 33 Sharp Street,
 Belmore NSW 2192



Burbank Australia (NSW) Pty Ltd. ac. (03) 8328 0238 Fax (03) 8328 0222
 Level 3, 88 Phillip Street, Parramatta NSW 2150
 ABN: 88 610 822 770 AOV: 810 822 770. BL: 259827C

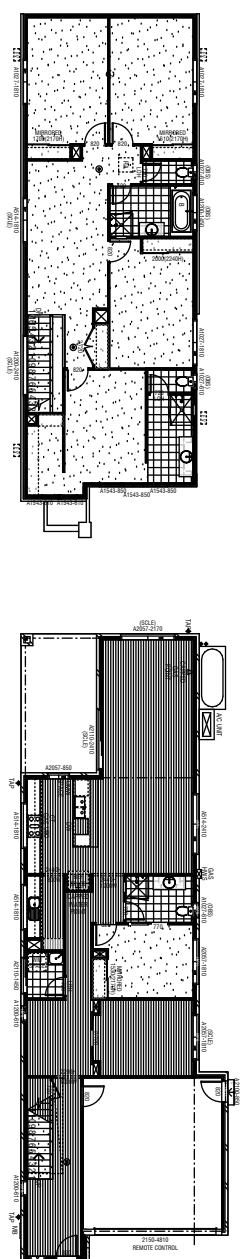
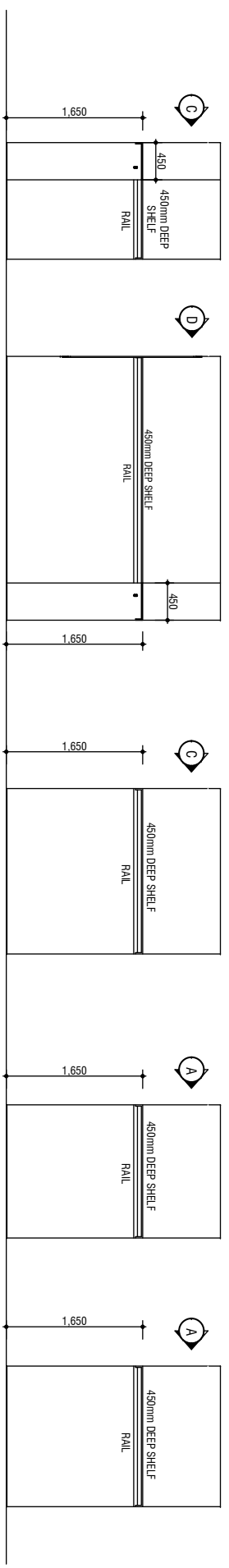
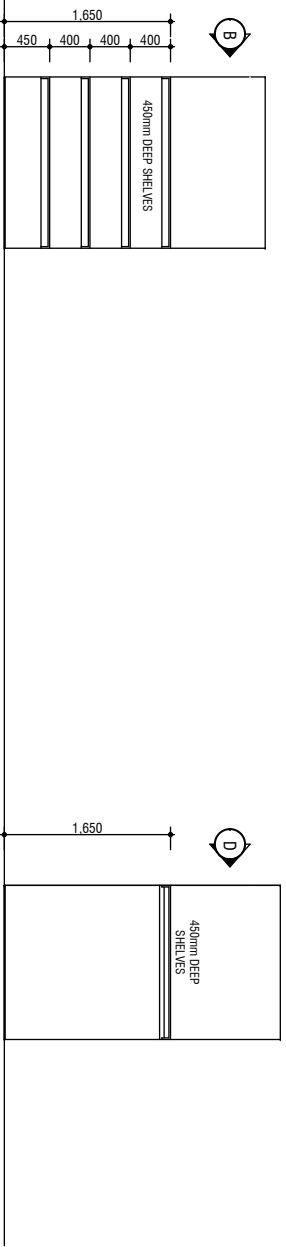


AMENDMENTS	
1	DB 14.03.22 Provide DEB to certain III
2	DB 17.03.22 Plans revised to meet requirements

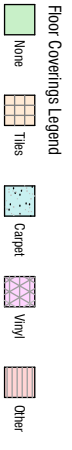
DESIGN ID	CONTRACT NO.	SCALE
Internal Elevations	188870	1:50

DESIGN ID	CONTRACT NO.	SCALE
Robertson 255	188870	1:50

DESIGN ID	CONTRACT NO.	SCALE
Robertson 255	188870	1:50



0007124605 14 Mar 2022
 Assessor Ian Fry
 Accreditation No. DMN/12/1441
 Address 33 Sharp Street, Belmore, NSW 2192
 5.6
 NATIONWIDE HOUSE
 57.3
 www.nshs.gov.au
 hstar.com.au



NOTES:-

- DIMENSIONS ARE TAKEN FROM FRAME
- WALL TILE SIZE: _____
- FLOOR TILE SIZE: _____
- SKRTING TILES TO BATHROOMS:
- LAUNDRY AND WC TILE SIZE: _____
- POWER POINT LOCATION

FITTINGS LOCATIONS

ITEM	HEIGHT ABOVE FLR
PAPER HOLDER	820
TOWEL RAIL	910/1900
TOWEL RINGS	820
SHOWER SOAP HOLDER	1000 NOMINAL

WATER PIPE LOCATIONS

No.	ITEM	INLET ABOVE FLR	No.	ITEM	INLET ABOVE FLR
1	WATER CLOSET	290	6	SINK	620
2	BIDET	290	7	DISHWASHER	500
3	BATH	UNLESS OTHERWISE STATED	8	TROUGH	1025
4	SHOWER	1000 (RAPS) / 1900 (R03)	9	WASHING MACHINE	1275
5	BASIN	600	10	FLOOR WASTE	-

FROM FRAME OFFSETS: (SHOWER ROSE—400 CL), (SHOWER TAPS—575 CL), (SOAP HOLDER—325 CL)

NEW HOME CONTRACT 1

RESIDENCE FOR: **Kim Sung Hee**
Lot A, 33 Sharp Street,
Belmore NSW 2192



Burbank Australia (NSW) Pty Ltd. ACN: 8928 0238 FC: 09 8928 0222
 Level 3, 88 Phillip Street, Parramatta NSW 2150
 ABN: 88 610 822 770 AOV: 810 822 770 BL: 296927C

Internal Elevations

Robertson 255

DESIGN ID	CONTRACT NO.	188870
SPECIFICATION: N.S.W.	NHP	MHC
ISSUE	WK 13.12.21	DB 23.01.22
DATE: 06/22/18		
HT:		

05-3
17 of 18

AMENDMENTS

NO.	DATE	DESCRIPTION
1	08/14/03/22	Provide DBB to contain Bill
2	08/17/03/22	Prices revised to latest requirements